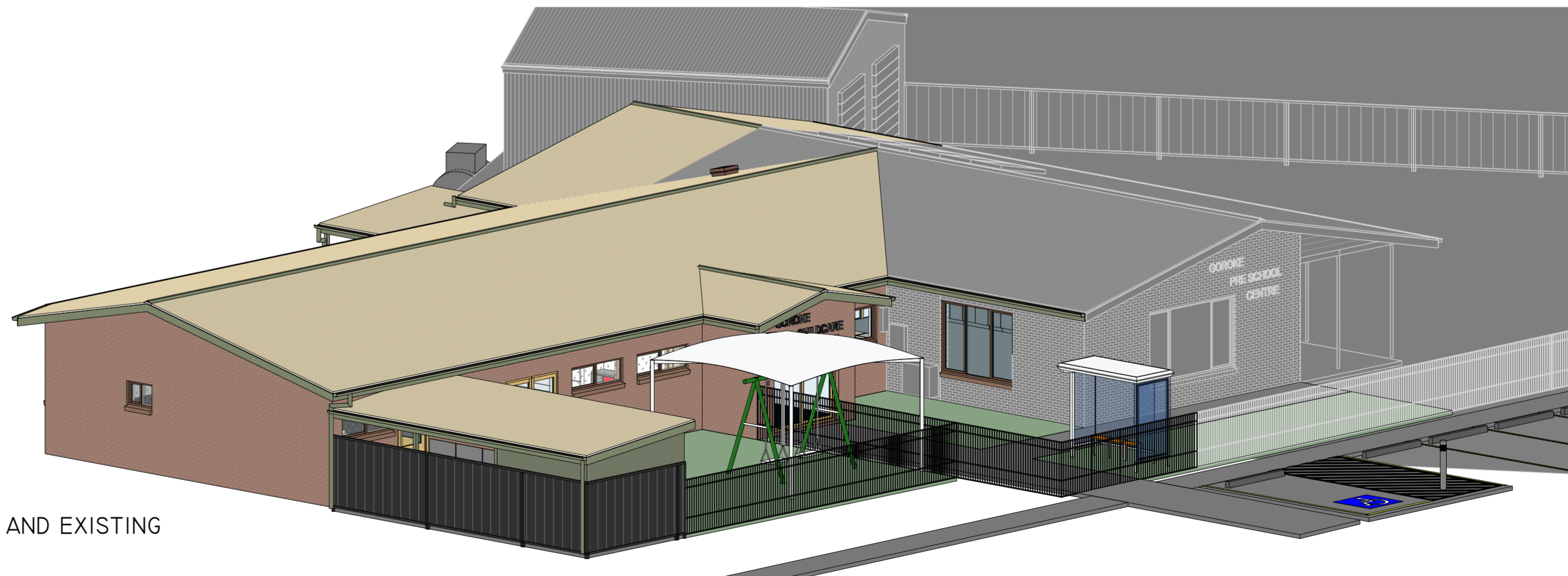


COMPLETE



NEW AND EXISTING

12-16 COMPSTON ST GOROKE VIC 3412

FINISHES SCHEDULE PREFIXES

B	BALUSTRADE
BEN	BENCHTOP
CAB	CABINERY
CF	CEILING FINISH
EL	ELECTRICAL
FF	FLOOR FINISH
FR	FRAMING
GF	GENERAL FINISH
GN	GENERAL NOTE
H	HEATING
J	JOINERY
P	POOL
PL	PLUMBING
RF	ROOFING
SF	SOFT FURNISHINGS
SITE	SITWORKS
SL	SOFFIT LINING
SS	STRUCTURE
SV	SERVICES
WDF	WINDOW FRAMING
WF	WALL FINISH
WP	WALL PLINTH/BANDING

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
A	13/09/24	TENDER DRAWINGS
B	17/09/24	ILLUME LIGHT, NEW WINDOW, NEW DOOR, NEW FURNITURE ADDED
C	1/10/24	ADD AC TO OFFICE AND LUNCH AREA, REPLACE EXISTING AC, REPLACE EXISTING LIGHTS AND FANS, LIFT DOOR LOCKS ON AREAS TO BE 'NON CHILD' ACCESS, CHANGE OS TO GATE
D	08/05/26	PER EMAIL FROM 27/04/26: AMENDMENTS (PARTIAL RE-DESIGN) PER MARKUP PLAN FROM 27/04/26
E	10/05/26	PER EMAIL FROM 08/05/26: ADD INTERNAL ELEVATIONS, ADD CAR PARKS AND ACCESSIBLE CAR PARK, ADD RAINWATER TANK, ADJUST PROPERTY LINES AND BUILDING POSITION, GET STAFF WELLNESS AREA 3M FROM BOUNDARY, ADJUST AREA SHEET; ADD WINDOW WITH ONE WAY PRIVACY FILM TO OFFICE KG; ADD NOTE TO EXISTING KG; REMOVE CUPBOARD DOORS FROM MOBILE CHECK IN KG; REMOVE BACK TO BACK KINDY STORAGE FROM KG ENTRANCE AREA; CHANGE CRAFT ROOM TO SLEEP ROOM; AD COTS, REMOVE OPENINGS, REDUCE WALL TO 1200 HEIGHT, ADD BULKHEAD AT 2100H; CUT OFF CORNER IN OFFICE CC, ADD AUTOFIRE WINDOW; CHANGE STAFF WELLNESS AREA 2 TO CHILDREN LUNCH AREA; CHANGE SHED DOOR TO ROLLER DOOR; ADD SENSORY AREA TO CHILDCARE;
F		

SHEET LIST	
SHEET NUMBER	SHEET NAME
0	TITLE
00	COVER
01	SITE PLAN
02	GROUND FLOOR PLAN
03	DEMO
04	ELEVATIONS
05A	INTERNAL ELEVATIONS
05B	INTERNAL ELEVATIONS
05C	INTERNAL ELEVATIONS
12	AREAS

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	CEILING HEIGHT	BASE FINISH
GROUND FLOOR	AMBULANT KG	3 m²	8.5 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	CHANGE	14 m²	21.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	CHILDCARE	69 m²	35.8 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	CHILDREN LUNCH AREA	19 m²	18.0 M	CONCRETE	9B	WR PLASTERBOARD	RAKING 2350 TO 2660	
GROUND FLOOR	EDUCATOR LUNCH AREA	22 m²	19.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	ENTRY	15 m²	15.9 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	JUNIOR WC	19 m²	18.1 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	KG ENTRANCE AREA	21 m²	19.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	KINDERGARTEN	89 m²	41.7 M	EXISTING	9B	EXISTING	2940	
GROUND FLOOR	KITCHEN CC	11 m²	13.5 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	KITCHEN KG	12 m²	14.2 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	LH ACCESS / LDRY KG	8 m²	11.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	MEETING	7 m²	11.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	OFFICE CC	13 m²	14.4 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	OFFICE KG	8 m²	11.0 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	PORCH	38 m²	28.7 M	EXISTING	9B	EXISTING	2940	
GROUND FLOOR	RH ACCESS / LDRY CC	8 m²	11.6 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	SLEEP ROOM	13 m²	14.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	STAFF WELLNESS AREA	16 m²	16.4 M	CONCRETE	9B	WR PLASTERBOARD	RAKING 2350 TO 2660	
GROUND FLOOR	STORE 1	15 m²	15.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
GROUND FLOOR	STORE 2	16 m²	16.2 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	2940	
		435 m²	177.4 M					
GROUND FLOOR	OUTDOOR SHED	10 m²	12.5 M	CONCRETE	10A	PLASTERBOARD	RAKING 2200 TO 2500	
		10 m²	12.5 M					
		444 m²	389.9 M					

SITE COVER		
NAME	AREA	COVER
EXISTING KINDERGARTEN	95.8	14%
EXISTING PORCH	39.7	6%
EXISTING SHED	65.6	9%
NEW ADDITION CC	227.7	33%
NEW ADDITION KG	40.4	6%
NEW OUTDOOR AREA CC	19.2	3%
NEW OUTDOOR AREA KG	16.5	2%
NEW OUTDOOR SHED	10.6	2%
RENOVATION AREA	42.7	6%
	558.2	80%
NEW PAVING	59.4	8%
NEW YARD CC	81.8	12%
	441.2	20%
	699.4	100%

BUILDING AREAS		
LEVEL	NAME	AREA
GROUND FLOOR	EXISTING KINDERGARTEN	95.8
GROUND FLOOR	EXISTING PORCH	39.7
GROUND FLOOR	EXISTING SHED	65.6
GROUND FLOOR	NEW ADDITION CC	227.7
GROUND FLOOR	NEW ADDITION KG	40.4
GROUND FLOOR	NEW OUTDOOR AREA CC	19.2
GROUND FLOOR	NEW OUTDOOR AREA KG	16.5
GROUND FLOOR	NEW OUTDOOR SHED	10.6
GROUND FLOOR	RENOVATION AREA	42.7
		558.2

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mob 0400 251 245

REVISIONS

GOROKE
KINDERGARTEN
12-16 COMPSTON ST
GOROKE VIC 3412

SCALE
1 : 50 (A2)
DRAWING
TITLE
ISSUE:
CONCEPT

PROJECT NUMBER
24-26
DATE
27/04/26
NO
0

DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

ALEXSTAR
BUILDING DESIGN

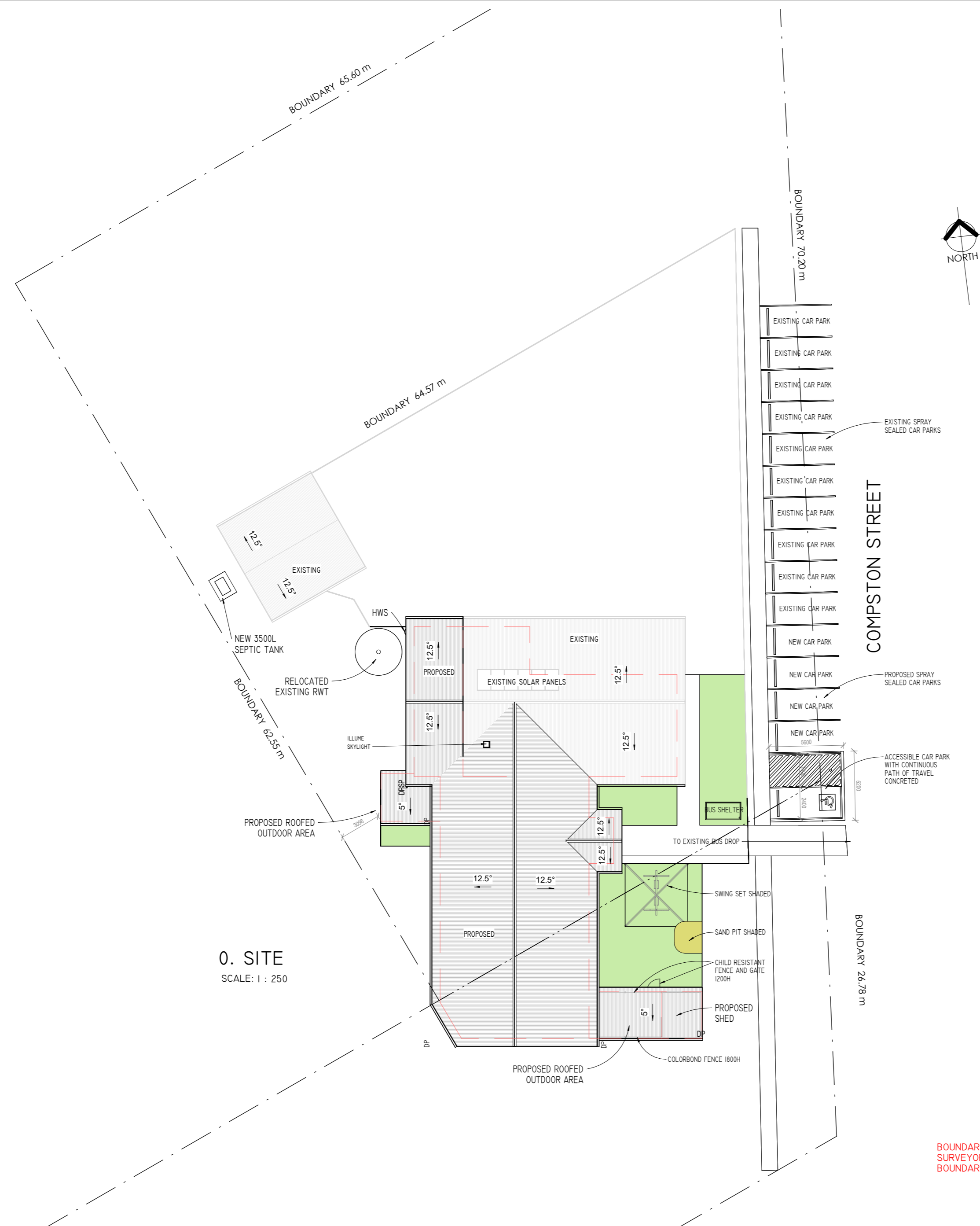
VIC REG DP-AD 59100

DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

SITE COVER		
NAME	AREA	COVER
EXISTING KINDERGARTEN	95.8	14%
EXISTING PORCH	39.7	6%
EXISTING SHED	65.6	9%
NEW ADDITION CC	227.7	33%
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NEW OUTDOOR AREA KG	16.5	2%
NEW OUTDOOR SHED	10.6	2%
RENOVATION AREA	42.7	6%
	558.2	80%
NEW PAVING	59.4	8%
NEW YARD CC	81.8	12%
	141.2	20%
	699.4	100%

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0. SITE
SCALE: 1 : 250

SITE NOTES

SITE WORKS, LEVELS AND STORM WATER DRAINAGE AS NOTED, WHERE ENGINEERS REPORT AVAILABLE, ENGINEERS DETAILS TAKE PRECEDENCE
BUILDER TO CONFIRM TBM AND FINISHED FLOOR LEVELS PRIOR TO COMMENCING

THE PROPERTY BOUNDARY IS TO BE PEGGED BY A LICENSED SURVEYOR PRIOR TO COMMENCING. IF ANY DISCREPANCIES OCCUR FROM THE TITLE DETAILS, NOTIFY THIS OFFICE. SURVEYORS DETAILS TAKE PRECEDENCE

ALL TRADES TO ENSURE THAT THEY HAVE THE CURRENT DIAL BEFORE YOU DIG INFORMATION PRIOR TO COMMENCING SITE WORKS

ACCESS NOTES

PATH OF TRAVEL MUST BE CONTINUOUS FROM THE CARPARK TO THE FRONT DOOR
THRESHOLD RAMPS TO BE USED
NO LIP GREATER THAN 3MM IF NOT ROUNDED, OR 5MM IF ROUNDED IN THE PATH OF TRAVEL

TBM & FFL SUBJECT TO ENGINEERS SITE AND DRAINAGE PLAN			
SITE CONDITIONS			
CORROSION ZONE	NA		
DESIGN WIND SPEED	N3		
BUSHFIRE ZONE	(BAL) LOW	12.5	
ENCUMBRANCE	NO		

REVISIONS

REV E
10/05/26

**GOROCE KINDERGARTEN
RENOVATION AND
ADDITION**

12-16 COMPSTON ST
GOROCE VIC 3412

PROJECT NUMBER
24-26

DATE
27/04/26

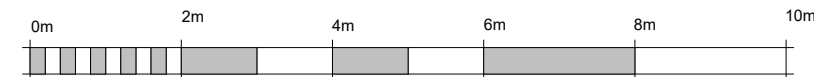
SCALE
1 : 250 (A2)

DRAWING
SITE PLAN

ISSUE:
CONCEPT

NO
01

BOUNDARY SCALED ON DRAWING
SURVEYOR TO CHECK EXTENT OF
BOUNDARY ON SITE



VISUAL SCALE 1:100 @ A2
DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

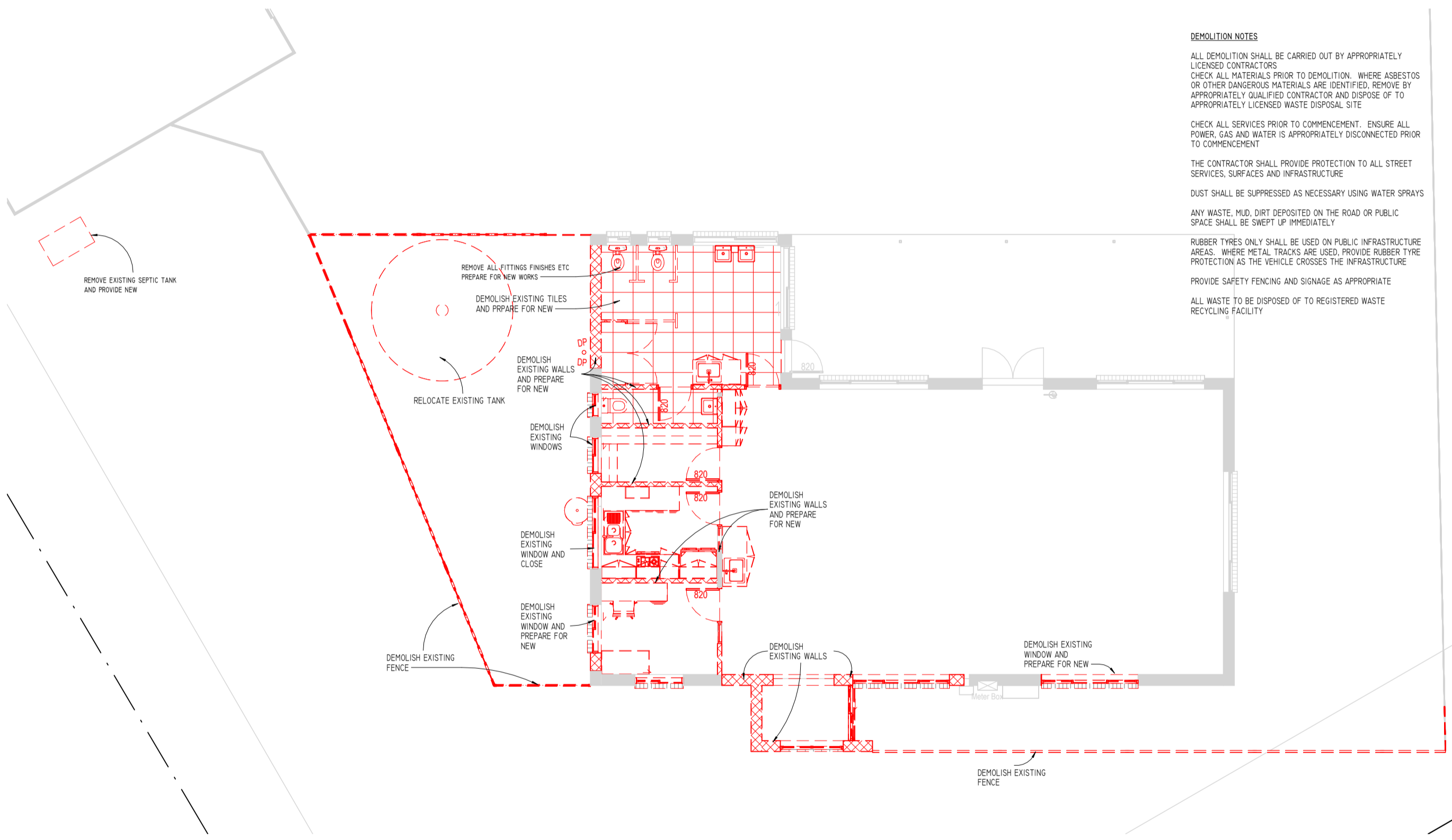
DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

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DEMOLITION NOTES

- ALL DEMOLITION SHALL BE CARRIED OUT BY APPROPRIATELY LICENSED CONTRACTORS
- CHECK ALL MATERIALS PRIOR TO DEMOLITION. WHERE ASBESTOS OR OTHER DANGEROUS MATERIALS ARE IDENTIFIED, REMOVE BY APPROPRIATELY QUALIFIED CONTRACTOR AND DISPOSE OF TO APPROPRIATELY LICENSED WASTE DISPOSAL SITE
- CHECK ALL SERVICES PRIOR TO COMMENCEMENT. ENSURE ALL POWER, GAS AND WATER IS APPROPRIATELY DISCONNECTED PRIOR TO COMMENCEMENT
- THE CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREET SERVICES, SURFACES AND INFRASTRUCTURE
- DUST SHALL BE SUPPRESSED AS NECESSARY USING WATER SPRAYS
- ANY WASTE, MUD, DIRT DEPOSITED ON THE ROAD OR PUBLIC SPACE SHALL BE SWEEPED UP IMMEDIATELY
- RUBBER TYRES ONLY SHALL BE USED ON PUBLIC INFRASTRUCTURE AREAS. WHERE METAL TRACKS ARE USED, PROVIDE RUBBER TYRE PROTECTION AS THE VEHICLE CROSSES THE INFRASTRUCTURE
- PROVIDE SAFETY FENCING AND SIGNAGE AS APPROPRIATE
- ALL WASTE TO BE DISPOSED OF TO REGISTERED WASTE RECYCLING FACILITY



1
04 DEMOLITION GROUND
SCALE: 1 : 100

REVISIONS

REV E
10/05/26

GOROKE KINDERGARTEN RENOVATION AND ADDITION

12-16 COMPSTON ST
GOROKE VIC 3412

PROJECT NUMBER
24-26

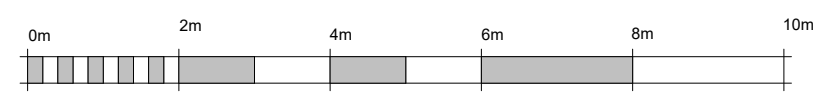
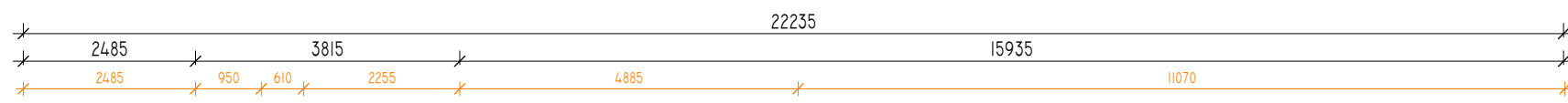
DATE
27/04/26

SCALE
1 : 100 (A2)

DRAWING
DEMO

ISSUE:
CONCEPT

NO
03



VISUAL SCALE 1:100 @ A2
DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

UP

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FLOOR PLAN NOTES

ELECTRICAL LAYOUT TO BE COMPLETED BY SUPPLIER

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC AND RELEVANT AUSTRALIAN STANDARDS AT THE DATE OF DEVELOPMENT APPLICATION - WHERE AN AUSTRALIAN STANDARD IS REFERENCED THE VERSION THAT IS CURRENTLY CALLED UP IN THE NCC AT THE TIME OF BUILDING CONSENT MUST BE USED

ALL BRICK PIERS TO BE REINFORCED WITH 1/16 ROD CENTRALLY AND CONCRETE FILLED, OR TO ENGINEERS DETAILS WHERE PROVIDED, ALL CONTROL JOINTS BY ENGINEER

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF DIMENSIONS ARE UNCLEAR, CONTACT THIS OFFICE FOR CLARIFICATION.

ALL TRADES TO CHECK ALL INFORMATION PRIOR TO COMMENCING OR ORDERING MATERIALS. TRADES ARE RESPONSIBLE FOR THE BUILDABILITY OF THEIR AREA OF EXPERTISE AND TO PROVIDE ALL PRODUCTS NECESSARY FOR THE FINAL FINISHED CONSTRUCTION.

DIMENSIONS WITH ARROW HEADS GENERALLY FINISHES DIMENSIONS, DIMENSIONS WITH DIAGONAL TICK MARK TO STRUCTURAL MATERIALS WHERE UNCLEAR - CONTACT THIS OFFICE

THE DESIGNER DOES NOT TAKE THE RESPONSIBILITY OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL INFORMATION IS CORRECT PRIOR TO CONSTRUCTION AND ENGAGEMENT OF SUPPLIERS. THE BUILDER IS TO ENSURE THAT ALL ASPECTS OF THE BUILDING ARE BUILDABLE AND TO PROVIDE ALL NECESSARY FITTINGS, FIXTURES AND MATERIALS TO ENSURE THAT THE BUILDING IS COMPLETE.

WHERE PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THOSE DETAILS ARE FOLLOWED. WHERE AN AUSTRALIAN STANDARD OR REQUIREMENT OF THE APPROPRIATE LEGISLATION IS TO BE FOLLOWED, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THE CORRECT INSTALLATION AND PROCEDURES ARE FOLLOWED.

DOWNPIPES TO BE PROVIDED AT MAXIMUM 12M SPACING AND ADJACENT TO VALLEY GUTTERS. ALL BOX GUTTERS TO HAVE MINIMUM 90MM DOWNPIPES ALL BOX GUTTERS TO HAVE OVERFLOW DEVICES ALL FASCIA GUTTERS TO PROVIDE OVERFLOWS AS PER THE DETAILS ON THE GUTTERS AND OVERFLOWS NOTES. WHERE POSSIBLE USE STRATCO DIMPLED STEEL FASCIA BEHIND GUTTERS

BUILDER TO CHECK ALL WINDOW AND DOOR SIZES ALL HEADS TO ALIGN EXCEPT WHERE SPECIFICALLY SHOWN AS BENCH HEIGHT WINDOWS OR HIGH/LOW LEVEL WINDOWS) CHECK WINDOW/DOOR SCHEDULE - ADJUSTMENTS PERMITTED TO MATCH BRICK COURSING AS NECESSARY

WINDOWS TO COMPLY WITH AS 2047, AND GLASS TO COMPLY WITH AS 1288

TERMITE TREATMENT TO AS 3660

ENCLOSED WC AREAS TO BE PROVIDED WITH ESCAPE HINGES TO THE DOOR, OR THE DOOR SHALL SLIDE OR SWING OUT OF THE ENCLOSURE

ENERGY NOTES

WHERE AN ENERGY REPORT IS PROVIDED - ENERGY REPORT TAKES PRECEDENCE

BUILDING FABRIC

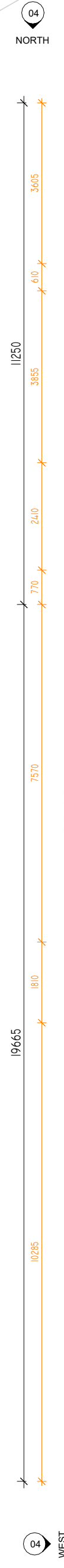
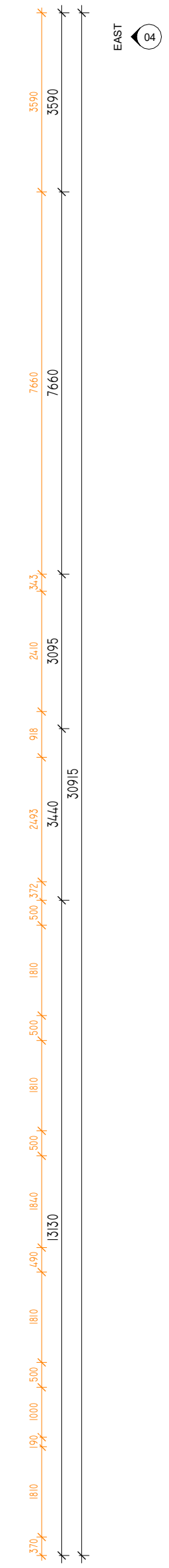
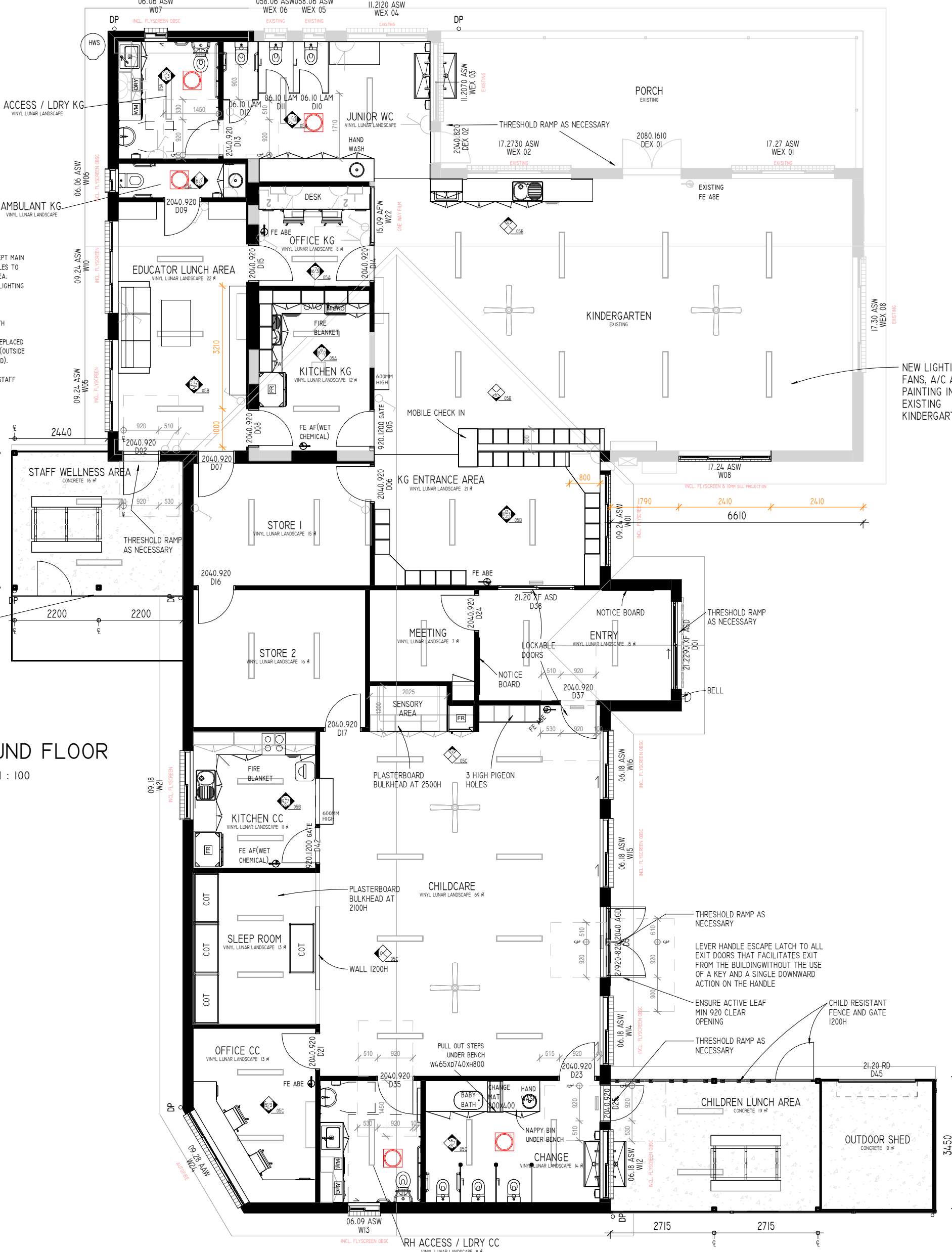
R2.5 INSULATION TO EXTERNAL WALL CAVITIES
R2.0 INSULATION TO CEILING CAVITIES
R2.0 INSULATION TO INTERNAL WALLS
R1.0 INSULATION TO PERIMETER OF FLOOR SLAB IF IN SLAB HEATING/COOLING IS INSTALLED
EXTERNAL GLAZING TO COMPLY WITH THE GLAZING CALCULATOR AS PROVIDED BY ABCB

PV SYSTEM BY OWNER

SERVICES PROVIDE LOOP FOR CONNECTION OF RAIN WATER TO WC LIGHT FITTINGS TO BE ENERGY EFFICIENT.
MAX SW/M2 TO LIVING AREAS - SEE ELECTRICAL LAYOUTS FOR CALCULATIONS
TAPS AND SANITARY FIXTURES WELS 4 STAR OR BETTER
SHOWER ROSES 3 STAR OR BETTER
USE HIGH EFFICIENCY GAS HOT WATER SERVICE - MIN 5 STAR RATING

- ITEMS TO NOTE:
- NEW VINYL TO ALL AREAS EXCEPT MAIN AREA. INCLUDES REMOVAL OF TILES TO INSTALL VINYL IN BATHROOM AREA.
 - NEW SPLIT SYSTEM AC'S-NEW LIGHTING THROUGHOUT.
 - PAINTING THROUGHOUT.
 - INTERIOR AND EXTERIOR WALLS REPAIRED (IE CRACKS FILLED WITH MORTAR).
 - EXTERIOR FENCE REALIGNED/REPLACED AT BACK AND SIDE OF BUILDING (OUTSIDE WILL REMAIN COMPLETELY FENCED).
- 1500 HIGH DOOR LOCKS TO ALL STAFF AREAS AND 'NON CHILD' AREAS

GROUND FLOOR
SCALE: 1 : 100



PROVIDE DOUBLE DAMP PROOF COURSE, TERMITE BARRIER AND VERTICAL WATERPROOFING

DUCTED EXHAUST FAN

REVISIONS
REV E
10/05/26

GOROKE KINDERGARTEN RENOVATION AND ADDITION
12-16 COMPSTON ST
GOROKE VIC 3412

PROJECT NUMBER
24-26
DATE
27/04/26

SCALE
1 : 100 (A2)
DRAWING
GROUND FLOOR PLAN

ISSUE:
CONCEPT
NO
02

**DO NOT SCALE
DRAWINGS**

BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND
LEVELS
BEFORE BUILDING COMMENCES

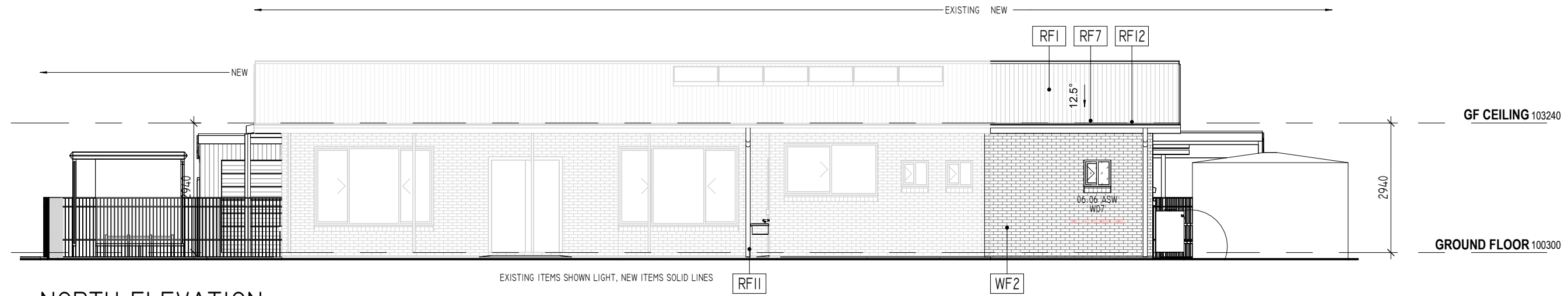
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FINISHES SCHEDULE

COLORBOND ROOF - TO MATCH EXISTING- COLORBOND PALE EUCALPT
COLORBOND FASCIAS AND GUTTERS - TO MATCH EXISTING - COLORBOND PALE EUCALPT
ENTRANCE DOOR - SLIDING DOOR - ALUMINIUM - TO MATCH EXISTING
FACE BRICK - TO MATCH EXISTING

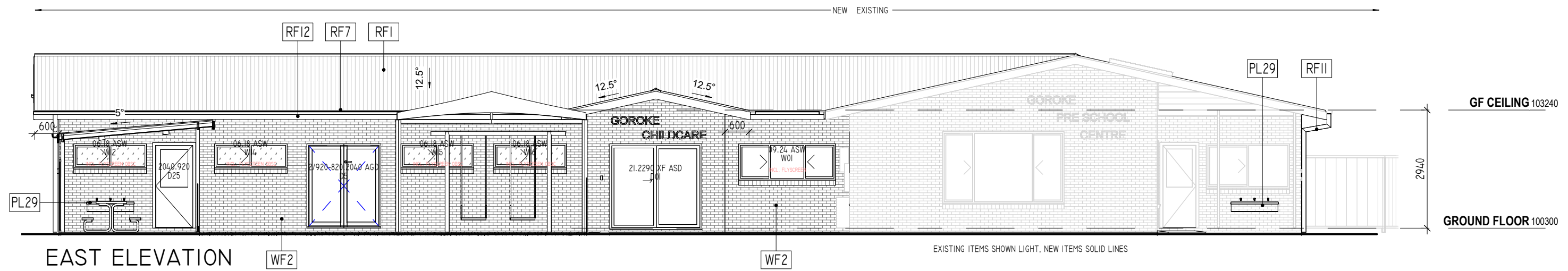
KEYNOTES

CODE	DESCRIPTION
PL29	SINK
RF1	COLORBOND CUSTOM ORB
RF7	TIMBER FASCIA
RF11	DOWNPIPE
RF12	D GUTTER
WF2	FACE BRICK
WF27	FENCE - COLORBOND



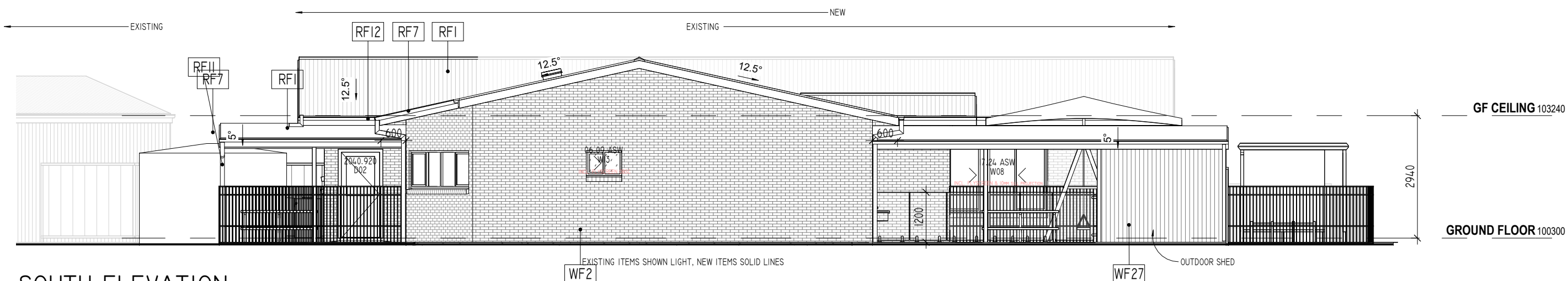
NORTH ELEVATION

SCALE: 1 : 100



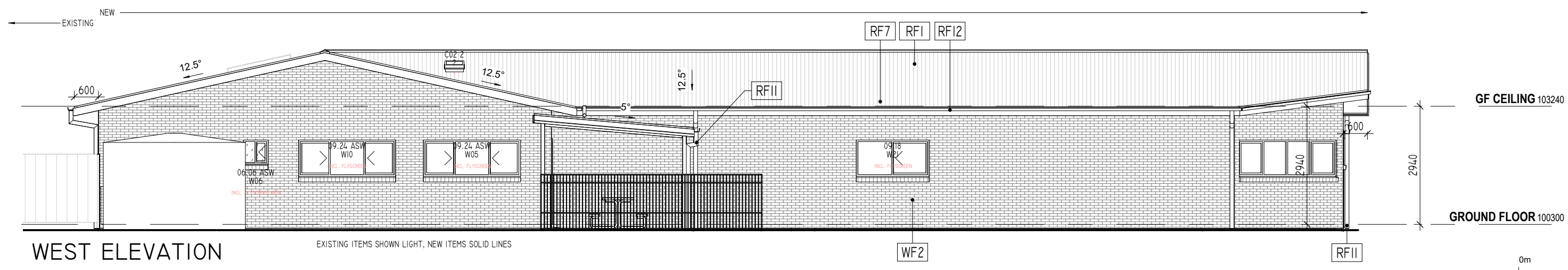
EAST ELEVATION

SCALE: 1 : 100



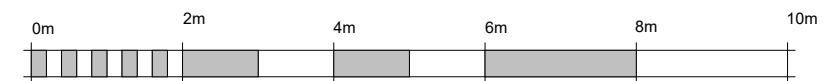
SOUTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



VISUAL SCALE 1:100 @ A2
DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

REVISIONS

REV E
10/05/26

GOROKE
KINDERGARTEN
RENOVATION AND
ADDITION

12-16 COMPSTON ST
GOROKE VIC 3412

PROJECT NUMBER
24-26

DATE
27/04/26

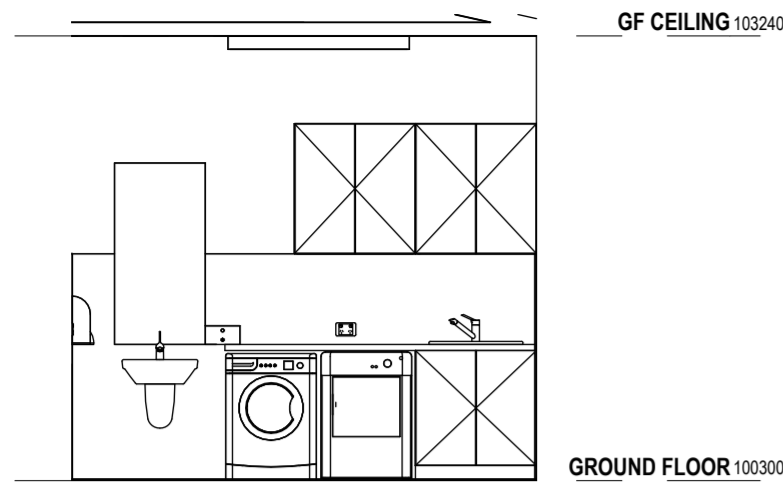
SCALE
1 : 100 (A2)

DRAWING
ELEVATIONS

ISSUE:
CONCEPT

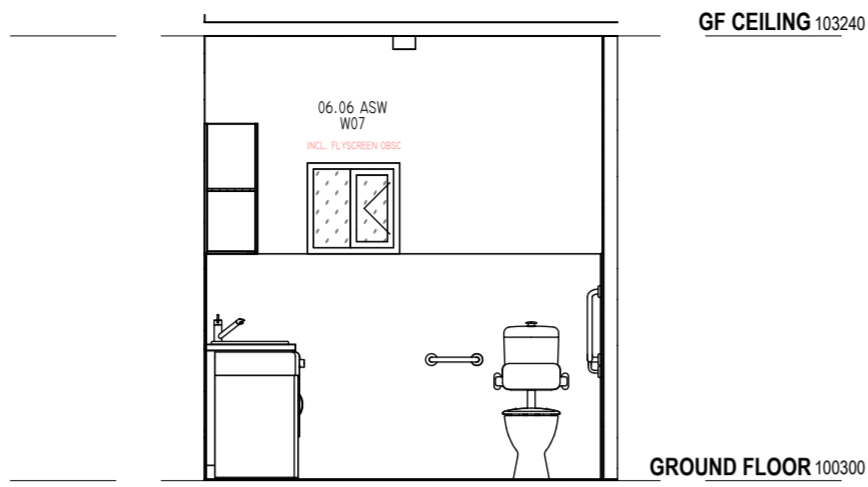
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04

VIC REG
DP-AD 59100



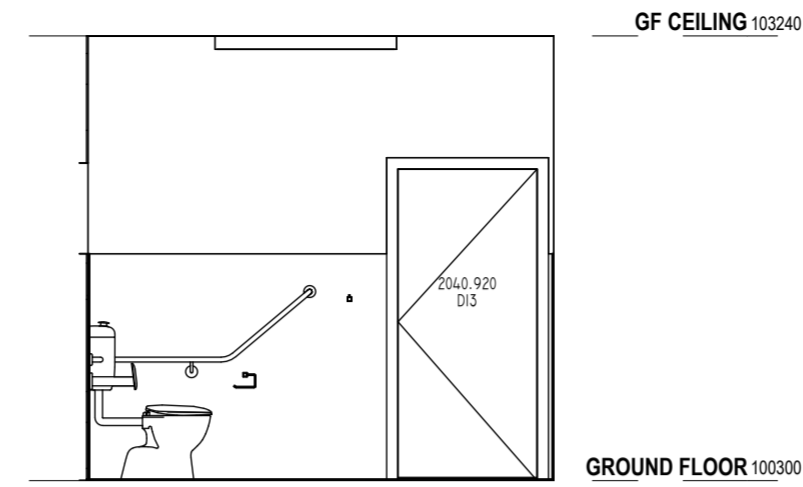
GROUND FLOOR 100300

1/02 LH ACCESS / LDRY KG 1
SCALE: 1 : 50



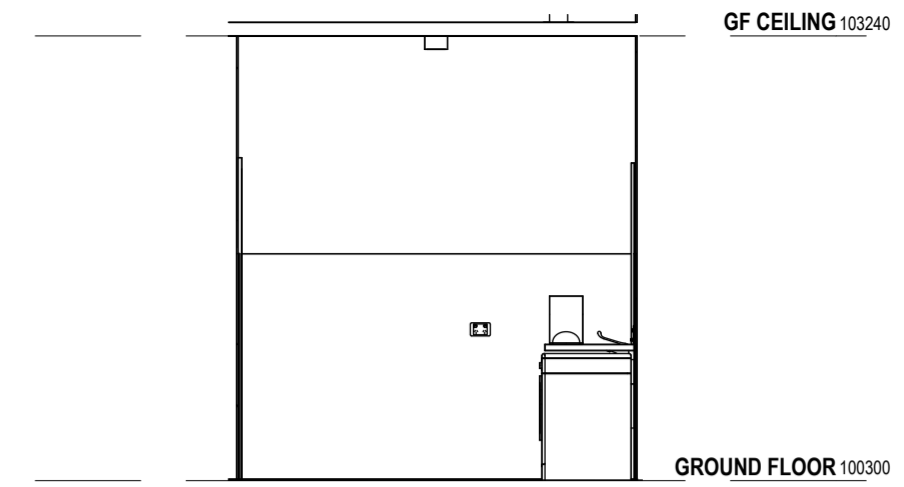
GROUND FLOOR 100300

2/02 LH ACCESS / LDRY KG 2
SCALE: 1 : 50



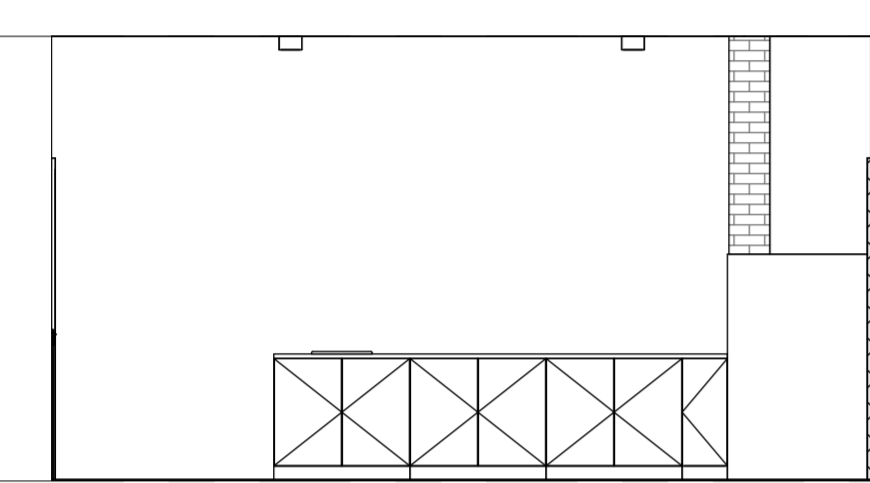
GROUND FLOOR 100300

3/02 LH ACCESS / LDRY KG 3
SCALE: 1 : 50



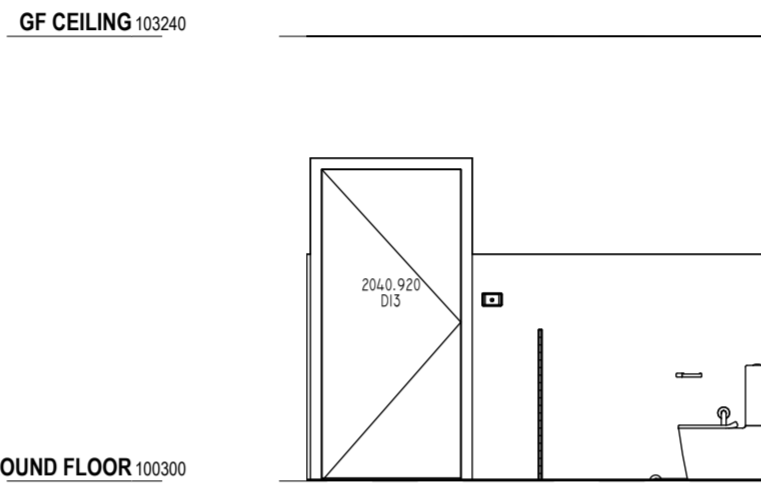
GROUND FLOOR 100300

4/02 LH ACCESS / LDRY KG 4
SCALE: 1 : 50



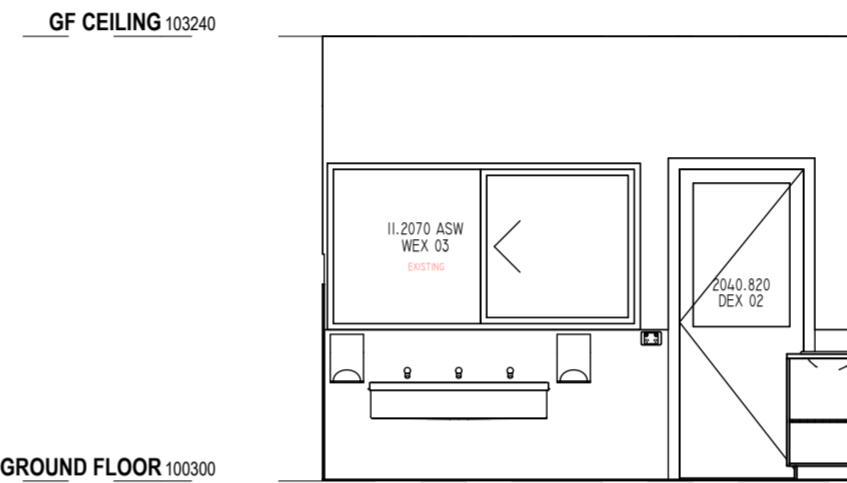
GROUND FLOOR 100300

11/02 JUNIOR WC 1
SCALE: 1 : 50



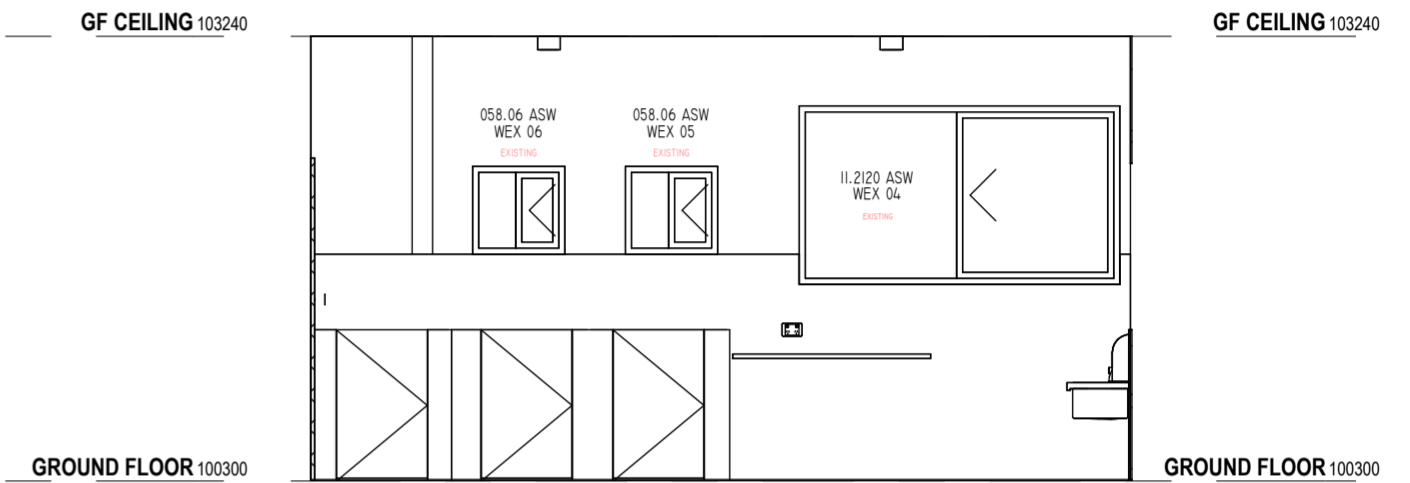
GROUND FLOOR 100300

12/02 JUNIOR WC 2
SCALE: 1 : 50



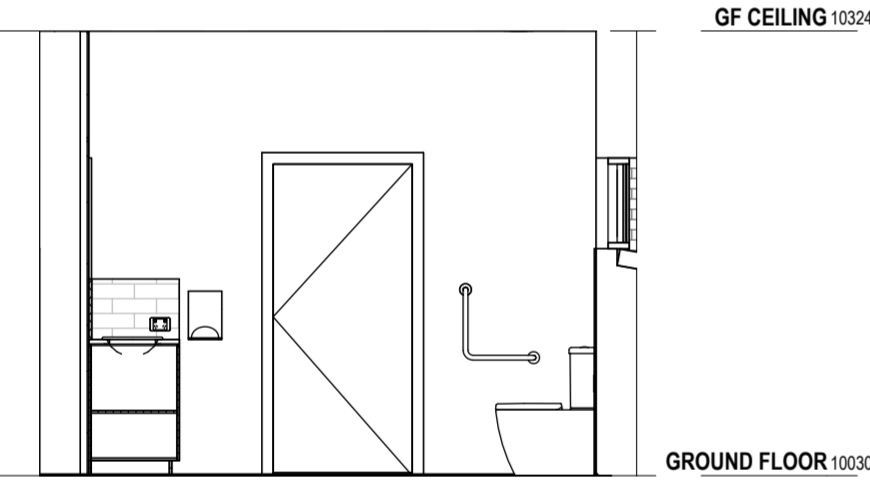
GROUND FLOOR 100300

13/02 JUNIOR WC 3
SCALE: 1 : 50



GROUND FLOOR 100300

14/02 JUNIOR WC 4
SCALE: 1 : 50



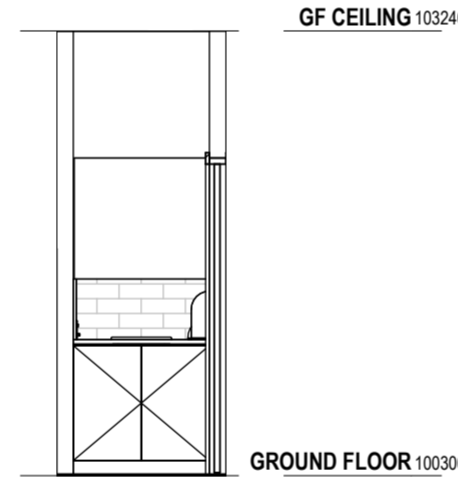
GROUND FLOOR 100300

5/02 AMBULANT KG 1
SCALE: 1 : 50



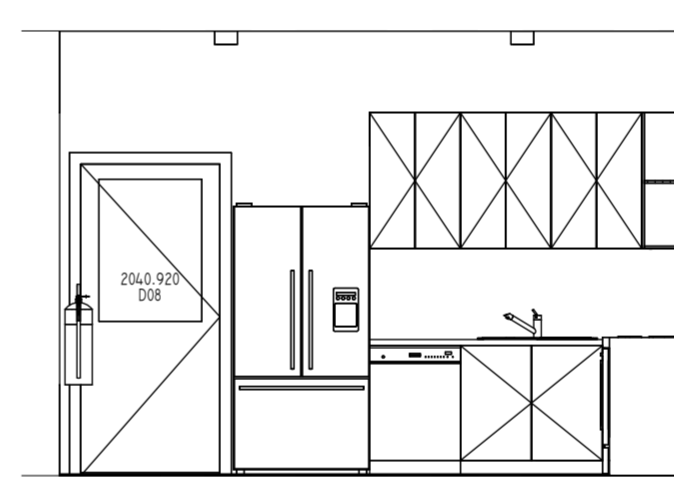
GROUND FLOOR 100300

6/02 AMBULANT KG 2
SCALE: 1 : 50



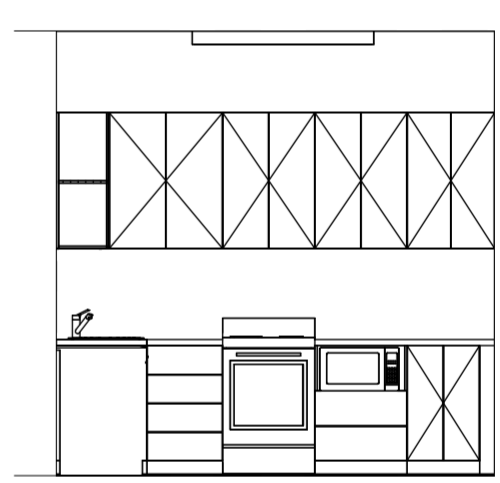
GROUND FLOOR 100300

7/02 AMBULANT KG 3
SCALE: 1 : 50



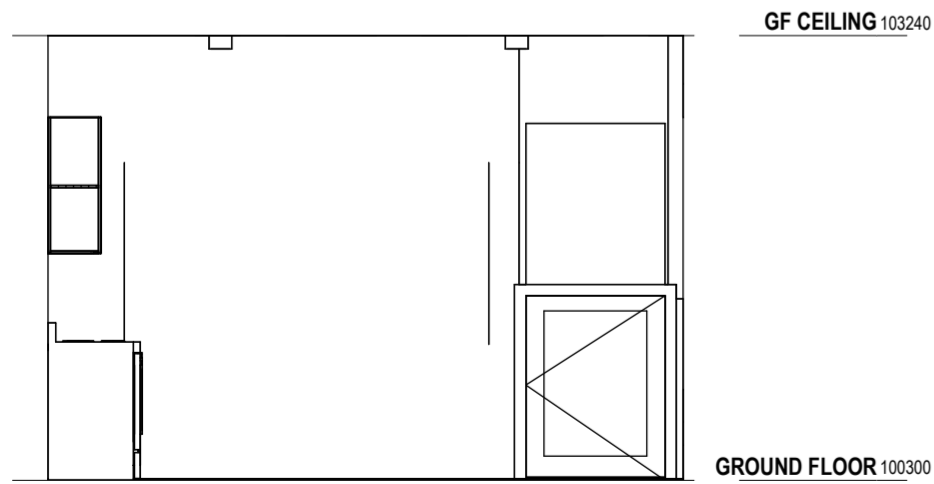
GROUND FLOOR 100300

8/02 KITCHEN KG 1
SCALE: 1 : 50



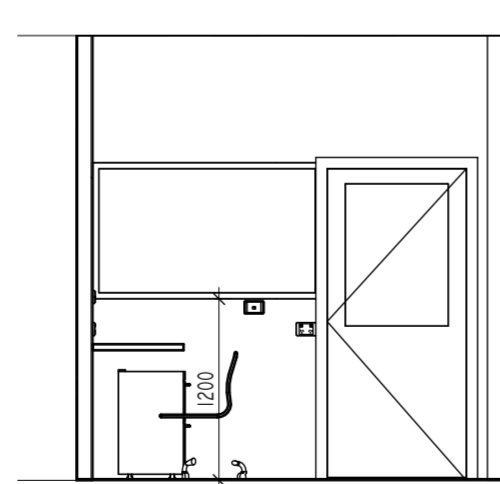
GROUND FLOOR 100300

9/02 KITCHEN KG 2
SCALE: 1 : 50



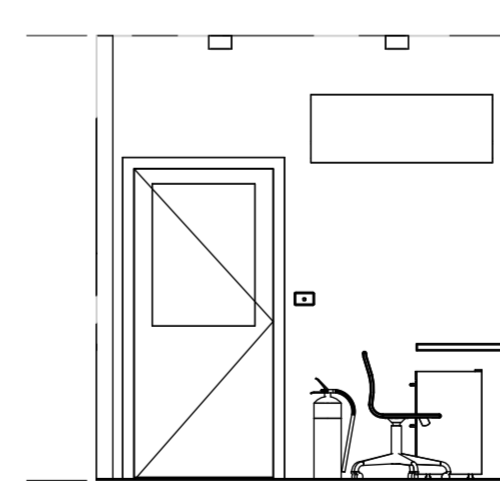
GROUND FLOOR 100300

10/02 KITCHEN KG 3
SCALE: 1 : 50



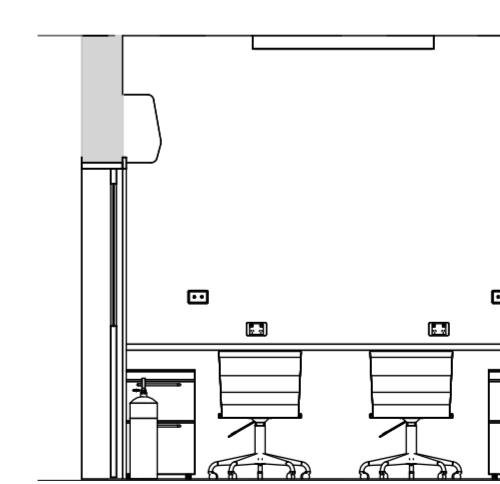
GROUND FLOOR 100300

15/02 OFFICE KG 1
SCALE: 1 : 50



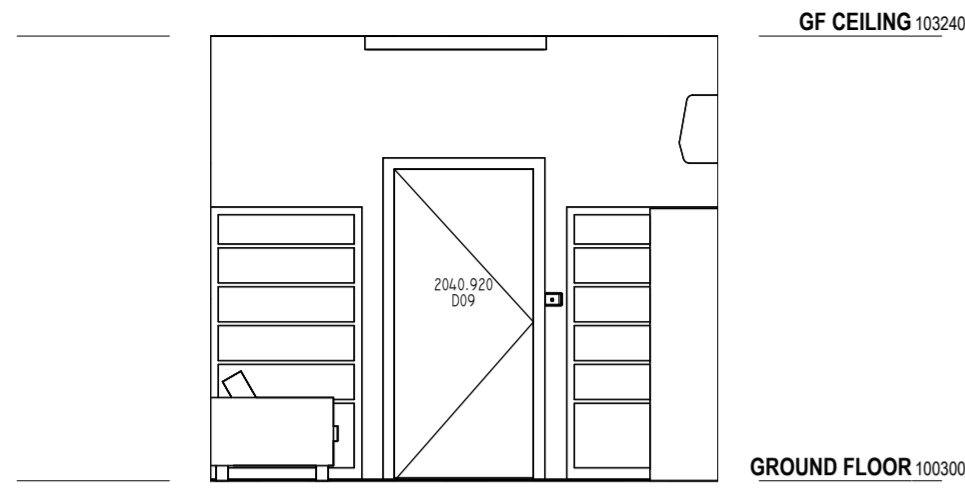
GROUND FLOOR 100300

16/02 OFFICE KG 2
SCALE: 1 : 50



GROUND FLOOR 100300

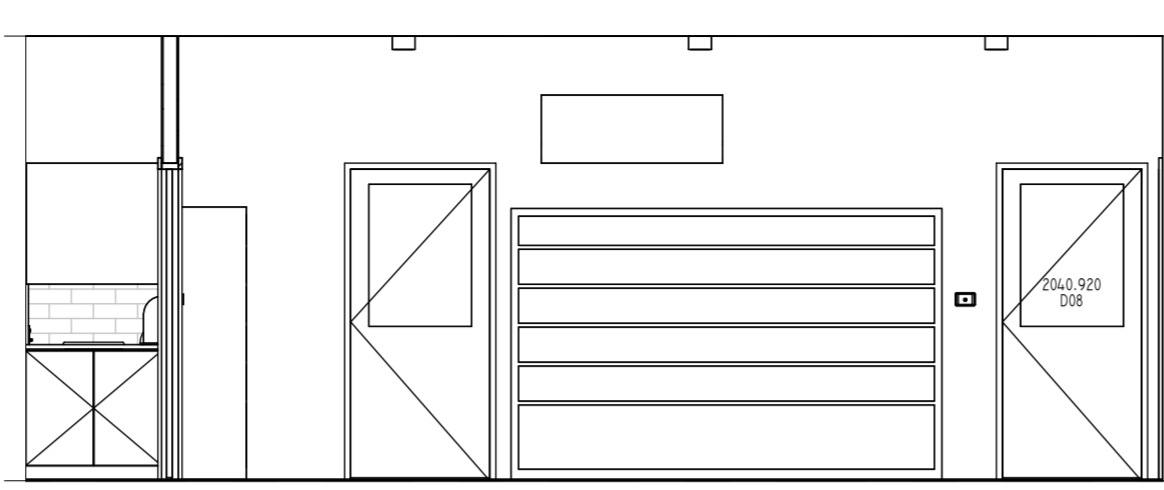
17/02 OFFICE KG 3
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

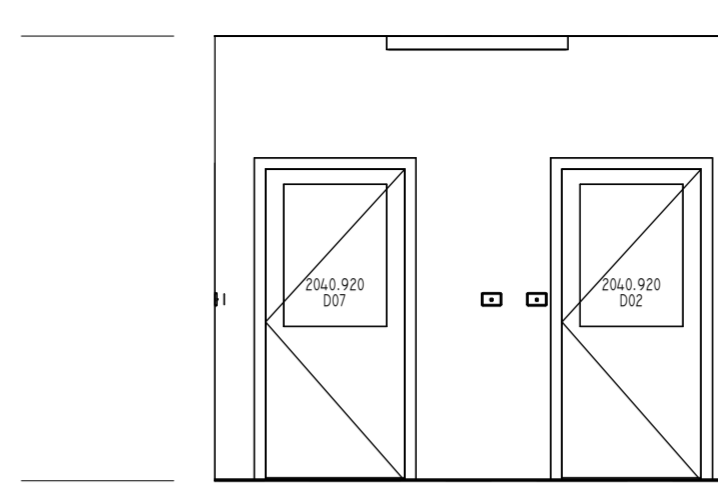
1/02 EDUCATOR LUNCH AREA 1
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

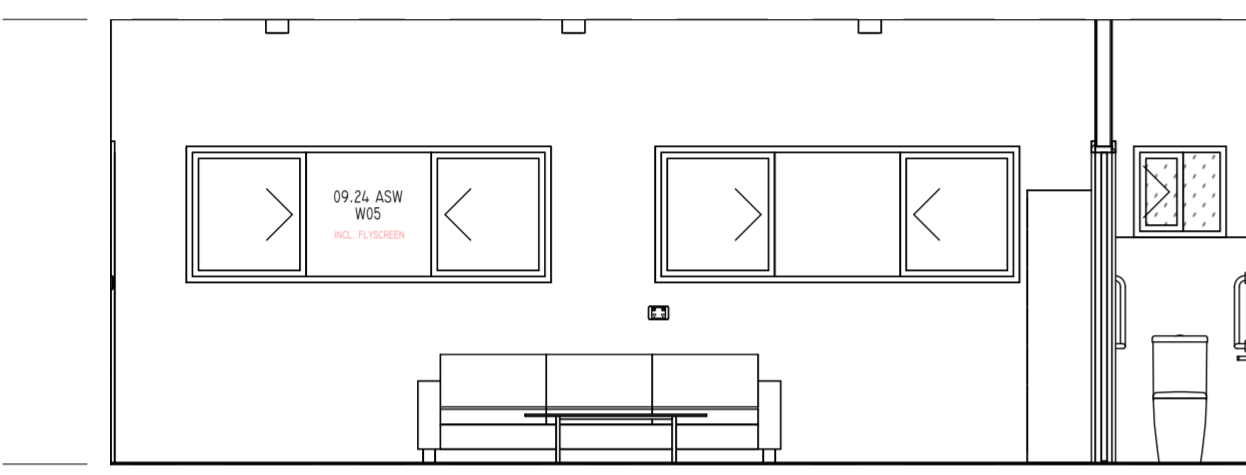
2/02 EDUCATOR LUNCH AREA 2
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

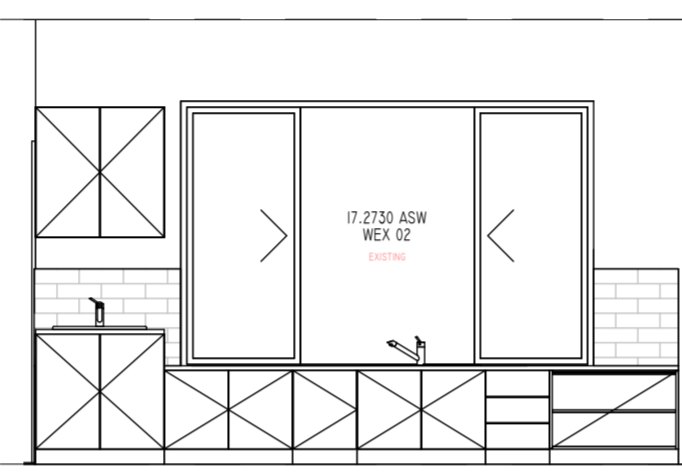
3/02 EDUCATOR LUNCH AREA 3
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

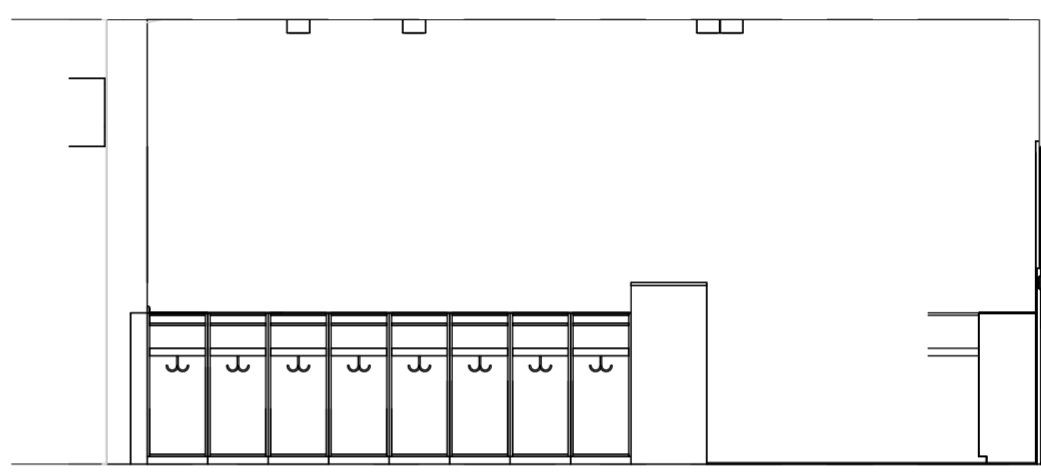
4/02 EDUCATOR LUNCH AREA 4
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

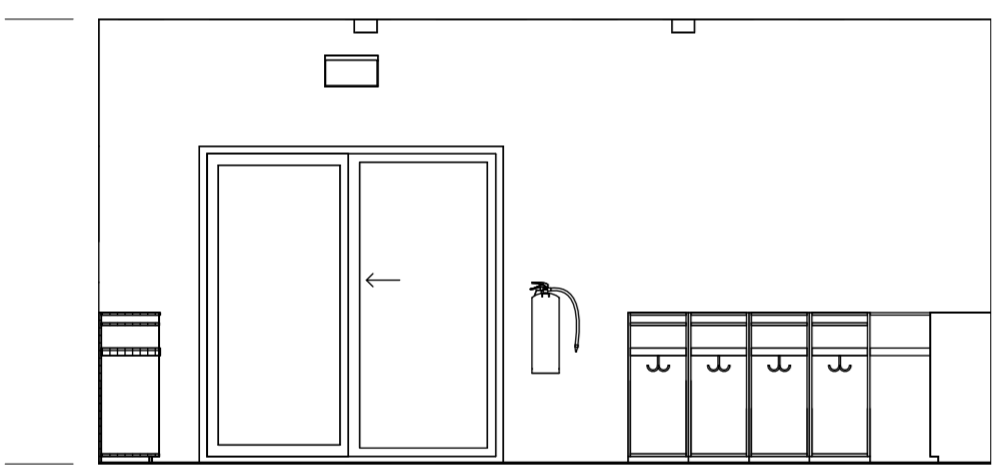
5/02 ART BENCH KG
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

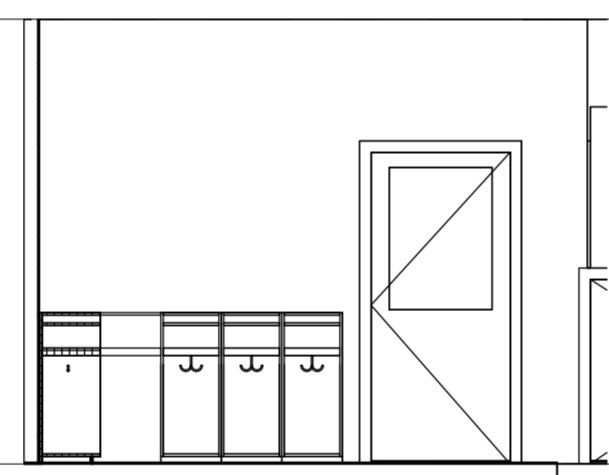
6/02 KG ENTRANCE AREA 1
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

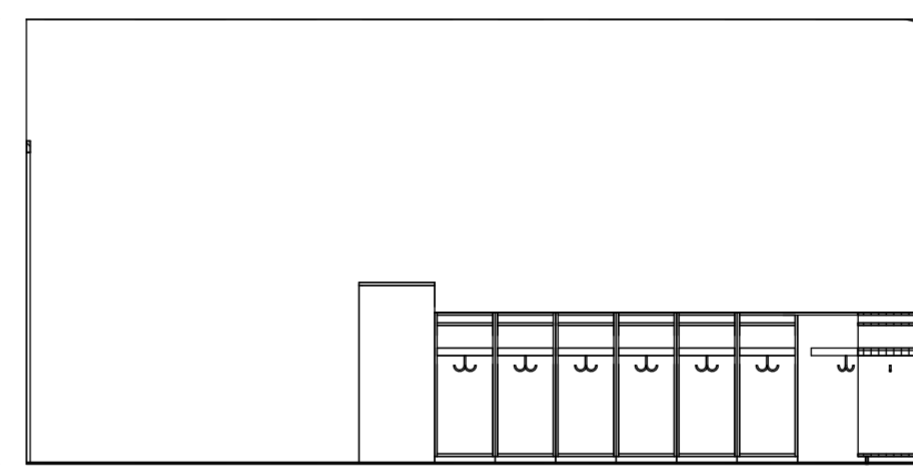
10/02 KG ENTRANCE AREA 2
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

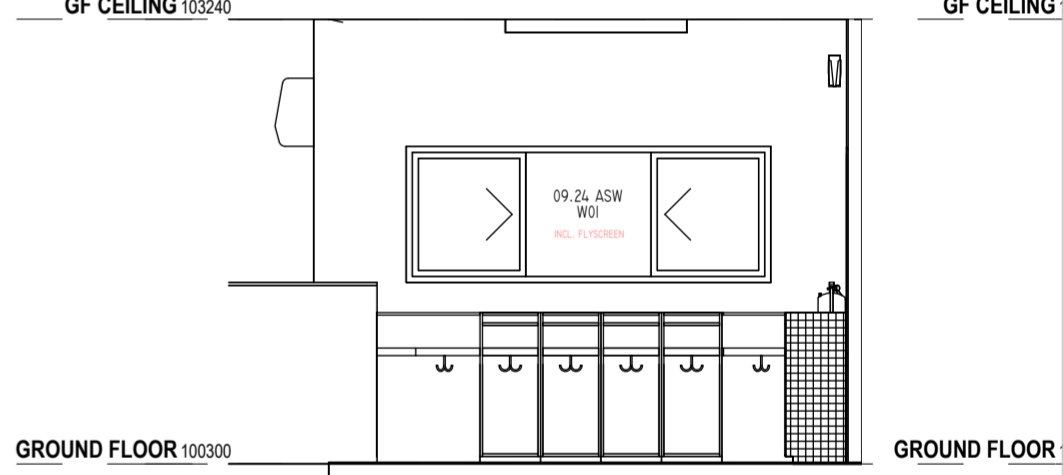
11/02 KG ENTRANCE AREA 3
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

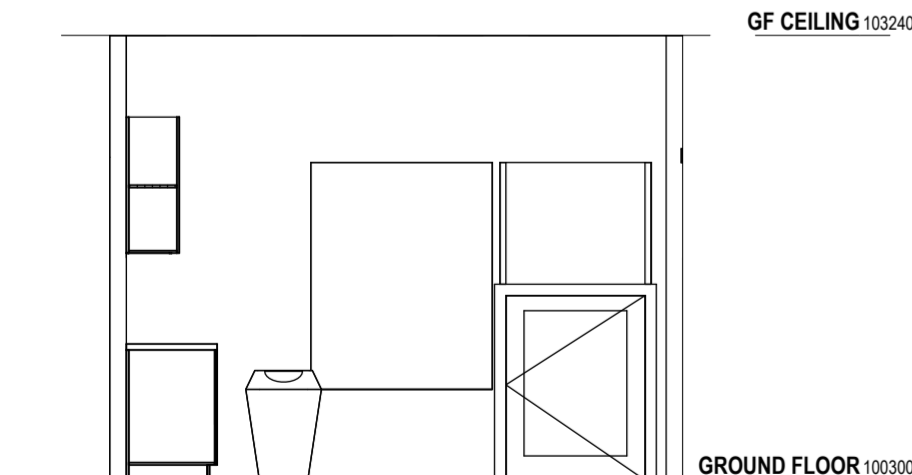
12/02 KG ENTRANCE AREA 4
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

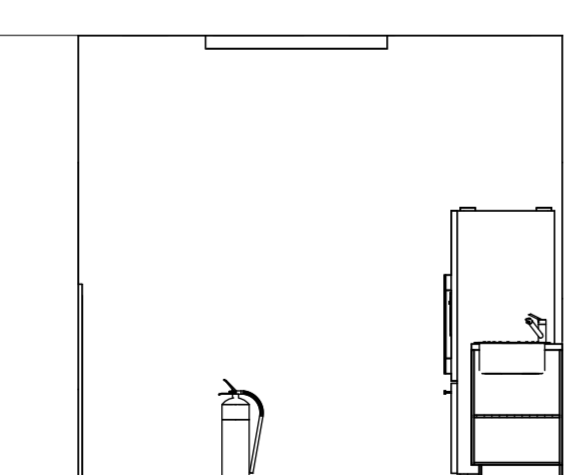
13/02 KG ENTRANCE AREA 5
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

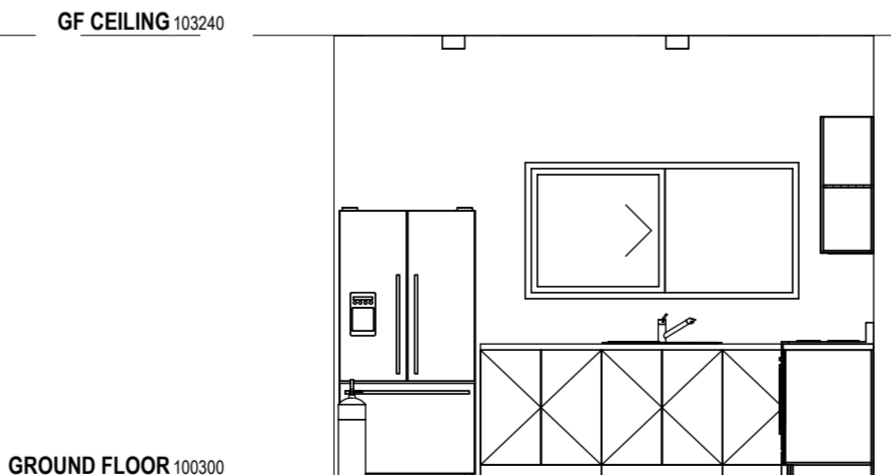
7/02 KITCHEN CC 1
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

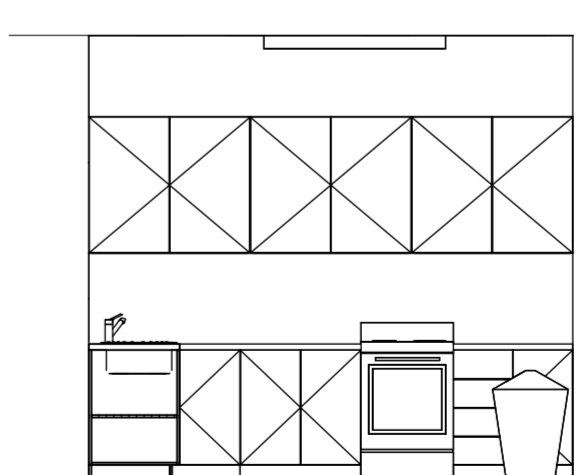
8/02 KITCHEN CC 2
SCALE: 1 : 50



GF CEILING 103240

GROUND FLOOR 100300

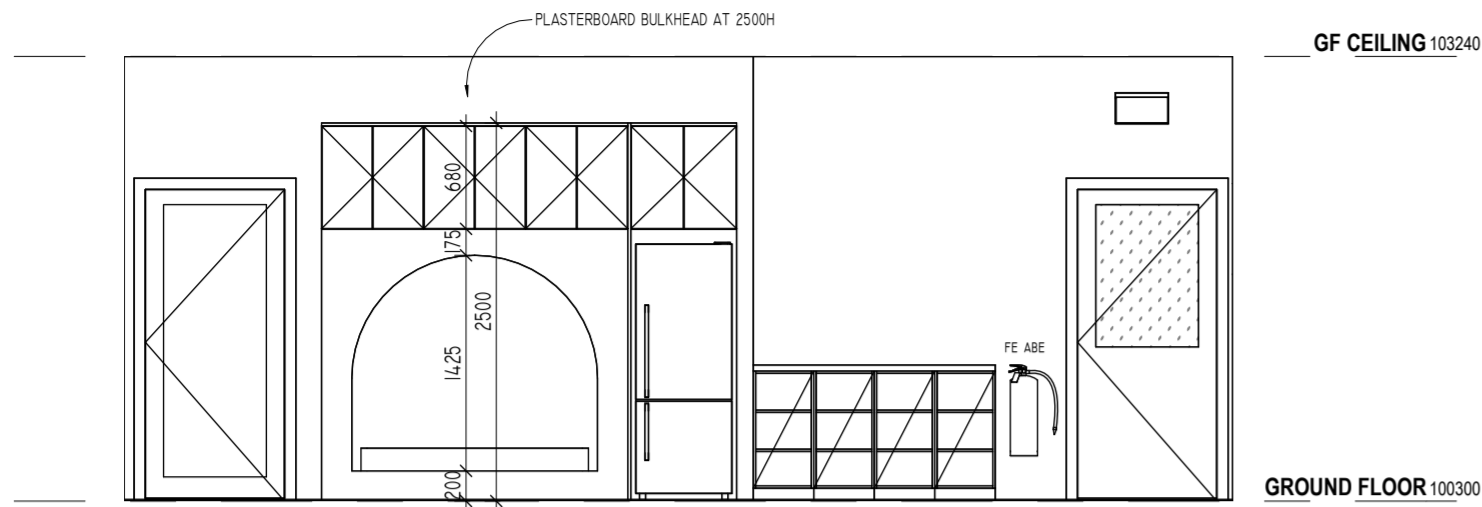
9/02 KITCHEN CC 3
SCALE: 1 : 50



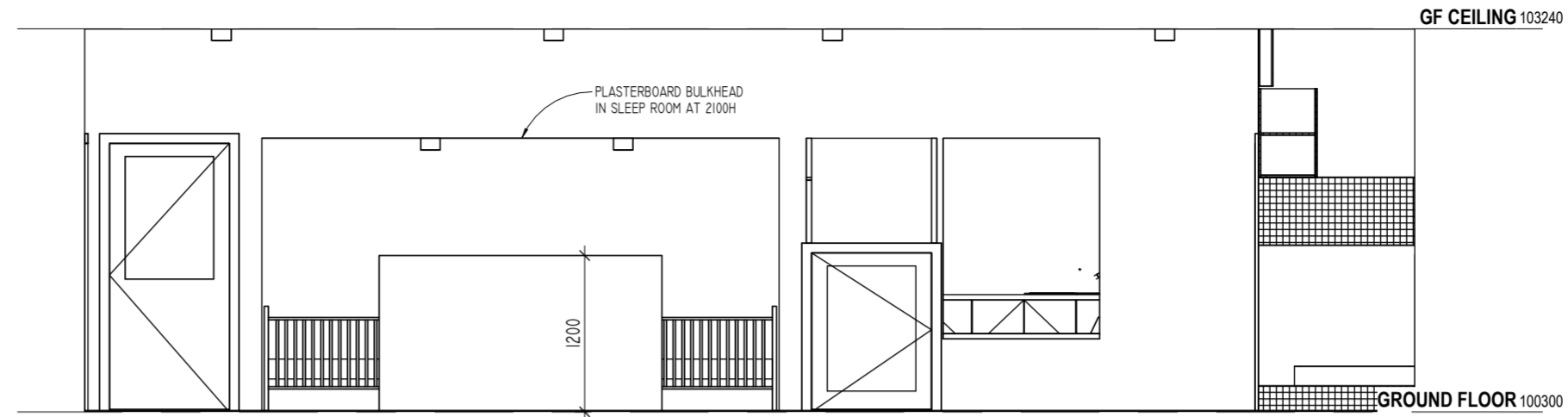
GF CEILING 103240

GROUND FLOOR 100300

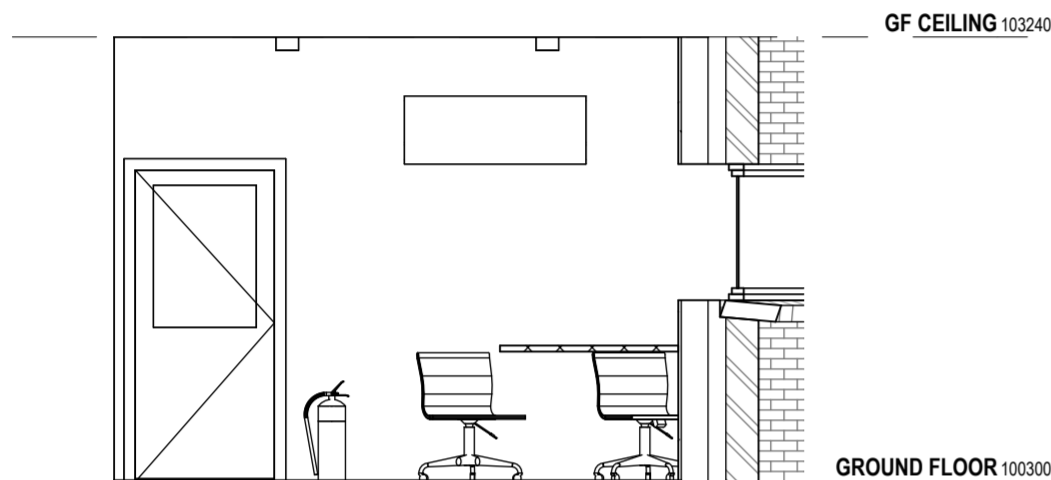
14/02 KITCHEN CC 4
SCALE: 1 : 50



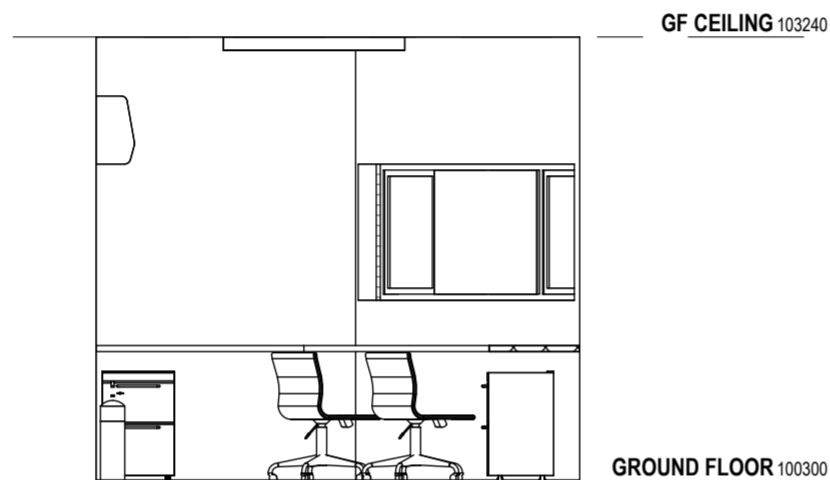
2
02
SENSORY AREA CC
SCALE: 1 : 50



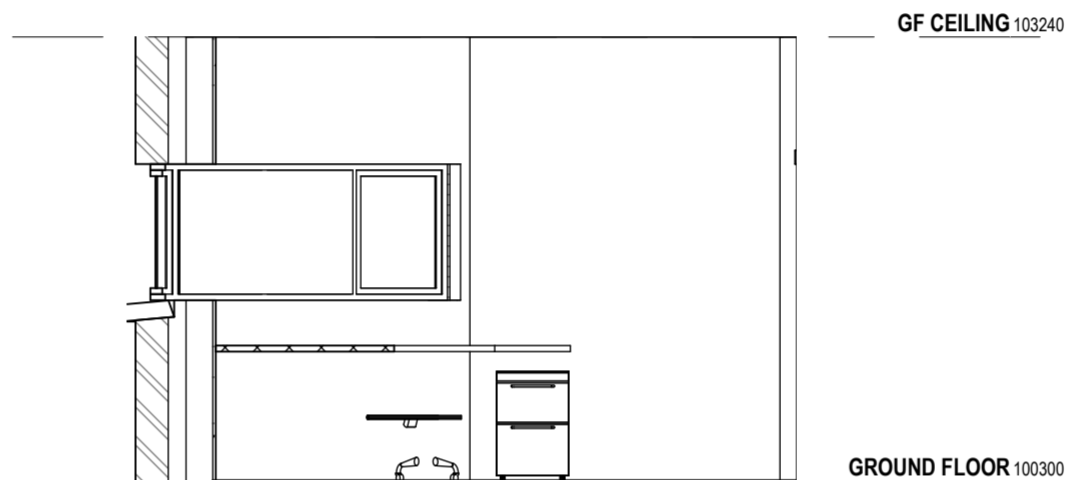
1
02
SLEEP ROOM
SCALE: 1 : 50



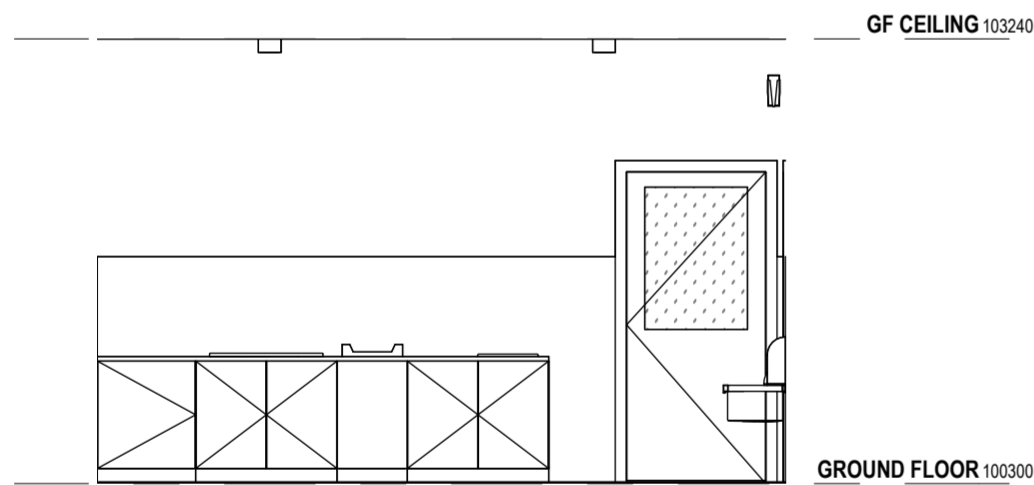
3
02
OFFICE CC 1
SCALE: 1 : 50



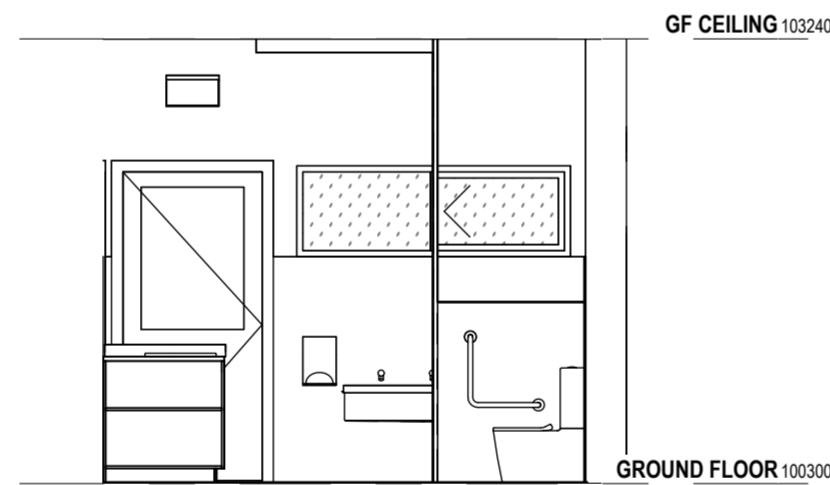
4
02
OFFICE CC 2
SCALE: 1 : 50



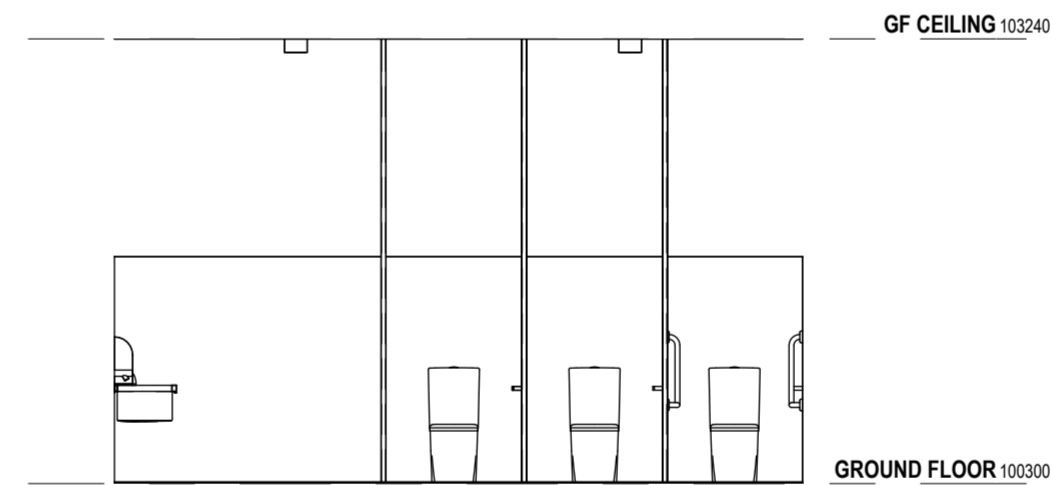
5
02
OFFICE CC 3
SCALE: 1 : 50



6
02
CHANGE CC 1
SCALE: 1 : 50



7
02
CHANGE CC 2
SCALE: 1 : 50

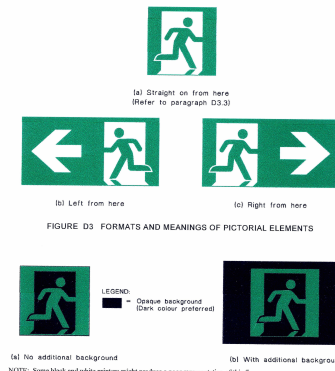


8
02
CHANGE CC 3
SCALE: 1 : 50

DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK INCLUDING DIMENSIONS AND LEVELS BEFORE BUILDING COMMENCES

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EXIT SIGNS

ALL EMERGENCY AND EXIT LIGHTING IN ACCORDANCE WITH AS 2293.1

EXIT SIGNS

ALL EXTERNALLY ILLUMINATED FOR USE IN ALL BUILDINGS UNDER 300M2 FLOOR AREA

MOUNTING HEIGHT - MIN 2M AFL - MAX 2.7M AFL
EXIT SIGNS TO BE LOCATED DIRECTLY ABOVE EXIT DOOR
WHERE THE SIGN IS NOT VISIBLE FROM NORMALLY ACCESSED PARTS OF THE BUILDING, DIRECTIONAL EXIT SIGNS ARE TO BE PROVIDED GUIDING OCCUPANTS TO THE EXIT

USE FIRE EXTINGUISHERS RATED:
3A WATER (9KG)
4A:60B E (4.5KG DRY POWDER)
5B E (3.5KG CO2)
3A:F4 (7L WET CHEMICAL)



FIRE EXTINGUISHER AND SIGN MOUNTING

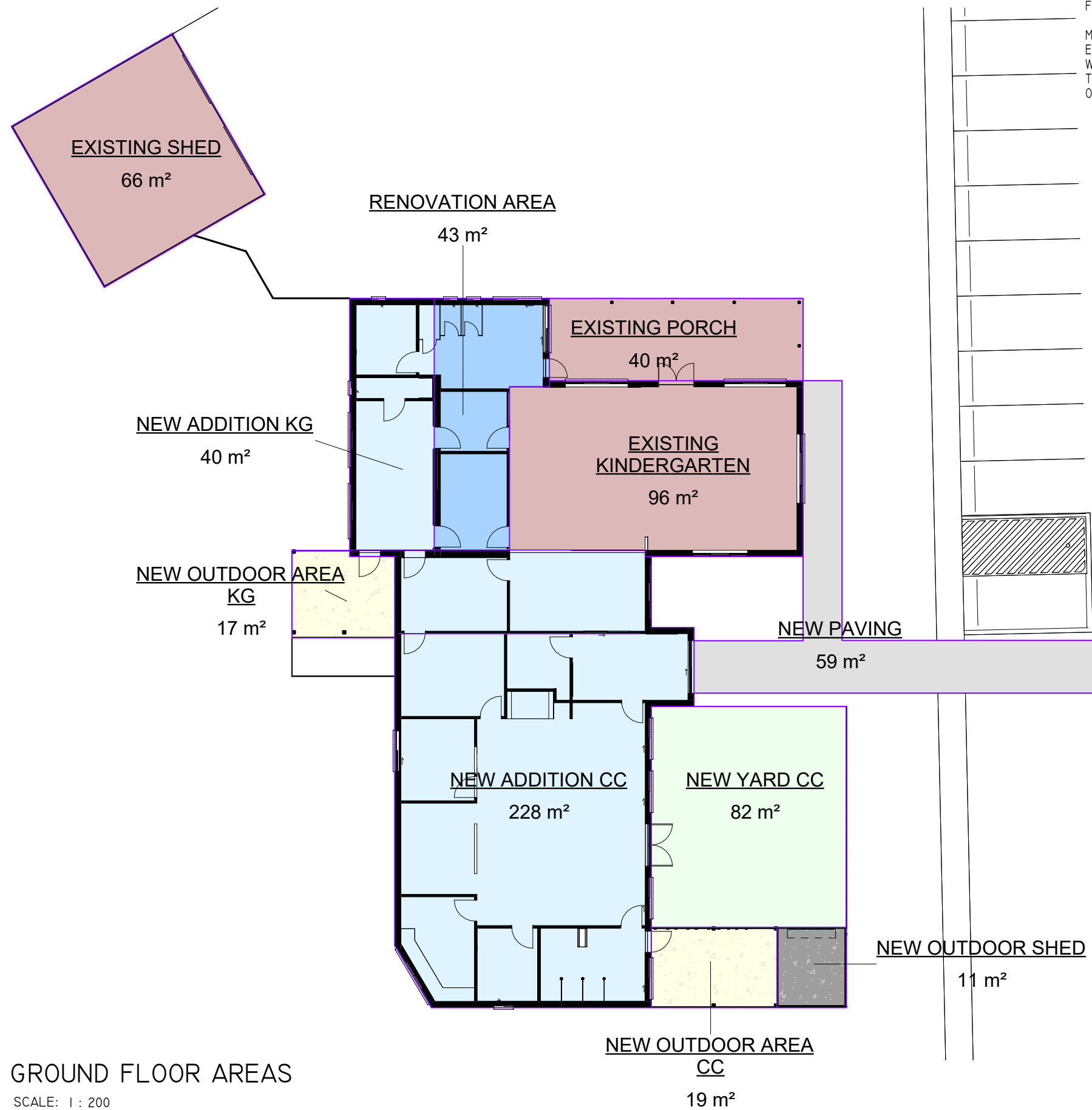
APPROX 20M2 TOTAL ENCLOSED AREA
EMERGENCY LIGHTING AND EXIT LIGHTS NOT REQUIRED
FIRE HOSES/HYDRANTS NOT REQUIRED

BE FE - CO2 FIRE EXTINGUISHER (USE NEAR ELECTRICAL SWITCHBOARD AND COMPUTERS)
ABE FE = DRY POWDER FIRE EXTINGUISHER
A FE = WATER FIRE EXTINGUISHER
AF FE = AQUEOUS FOAM FIRE EXTINGUISHER
BLANKET = FIRE BLANKET
EXIT = INTERNALLY ILLUMINATED EXIT LIGHT - APPROX 8M EFFECTIVE RADIUS
EL = SURFACE MOUNTED DISPTIFIRE EMERGENCY LIGHT - APPROX 10M EFFECTIVE RADIUS
FHR = 36M FIRE HOSE REEL

ORDINARY CLASS 'A' FIRE RISK (WATER EXTINGUISHERS) - MINIMUM 2A RATED - MAXIMUM AREA TO BE SERVICED BY A SINGLE EXTINGUISHER IS 100M2

CLASS 'B' 'E' AND 'F' FIRE RISK (FLAMMABLE LIQUID, ELECTRICAL, OR FAT) - MINIMUM 20B/E/F RATED TO BE LOCATED WITHIN 5M OF THE RISK AREA AND SERVICE A MAXIMUM 80M2

WHERE ELECTRICAL FIRES ARE POSSIBLE, USE CO2 FIRE EXTINGUISHERS AS A PREFERENCE
BUILDER TO ENSURE ALL SIGNAGE, MOUNTING HEIGHTS AND LOCATIONS COMPLY WITH APPROPRIATE AUSTRALIAN STANDARDS



GROUND FLOOR AREAS

SCALE: 1 : 200

BUILDING AREAS		
LEVEL	NAME	AREA
GROUND FLOOR	EXISTING KINDERGARTEN	95.8
GROUND FLOOR	EXISTING PORCH	39.7
GROUND FLOOR	EXISTING SHED	65.6
GROUND FLOOR	NEW ADDITION CC	227.7
GROUND FLOOR	NEW ADDITION KG	40.4
GROUND FLOOR	NEW OUTDOOR AREA CC	19.2
GROUND FLOOR	NEW OUTDOOR AREA KG	16.5
GROUND FLOOR	NEW OUTDOOR SHED	10.6
GROUND FLOOR	RENOVATION AREA	42.7
		558.2

SITE COVER		
NAME	AREA	COVER
EXISTING KINDERGARTEN	95.8	14%
EXISTING PORCH	39.7	6%
EXISTING SHED	65.6	9%
NEW ADDITION CC	227.7	33%
NEW ADDITION KG	40.4	6%
NEW OUTDOOR AREA CC	19.2	3%
NEW OUTDOOR AREA KG	16.5	2%
NEW OUTDOOR SHED	10.6	2%
RENOVATION AREA	42.7	6%
	558.2	80%
NEW PAVING	59.4	8%
NEW YARD CC	81.8	12%
	141.2	20%
	699.4	100%

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	CEILING HEIGHT	BASE FINISH
GROUND FLOOR	AMBULANT KG	3 m²	8.5 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	CHANGE	14 m²	21.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	CHILDCARE	69 m²	35.8 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	CHILDREN LUNCH AREA	19 m²	18.0 M	CONCRETE	9B	WR PLASTERBOARD	RAKING 2350 TO 2660	
GROUND FLOOR	EDUCATOR LUNCH AREA	22 m²	19.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	ENTRY	15 m²	15.9 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	JUNIOR WC	19 m²	18.1 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	KG ENTRANCE AREA	21 m²	19.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	KINDERGARTEN	89 m²	41.7 M	EXISTING	9B	EXISTING	294.0	
GROUND FLOOR	KITCHEN CC	11 m²	13.5 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	KITCHEN KG	12 m²	14.2 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	LH ACCESS / LDYR KG	8 m²	11.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	MEETING	7 m²	11.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	OFFICE CC	13 m²	14.4 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	OFFICE KG	8 m²	11.0 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	PORCH	38 m²	28.7 M	EXISTING	9B	EXISTING	294.0	
GROUND FLOOR	RH ACCESS / LDYR CC	8 m²	11.6 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	SLEEP ROOM	13 m²	14.3 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	STAFF WELLNESS AREA	16 m²	16.4 M	CONCRETE	9B	WR PLASTERBOARD	RAKING 2350 TO 2660	
GROUND FLOOR	STORE 1	15 m²	15.7 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
GROUND FLOOR	STORE 2	16 m²	16.2 M	VINYL LUNAR LANDSCAPE	9B	PLASTERBOARD	294.0	
		435 m²	377.4 M					
GROUND FLOOR	OUTDOOR SHED	10 m²	12.5 M	CONCRETE	10A	PLASTERBOARD	RAKING 2200 TO 2500	
		10 m²	12.5 M					
		444 m²	389.9 M					

REVISIONS

REV E
10/05/26

GOROKE KINDERGARTEN RENOVATION AND ADDITION

12-16 COMPSTON ST
GOROKE VIC 3412

PROJECT NUMBER

24-26

DATE

27/04/26

SCALE

As indicated (A2)

DRAWING AREAS

AREAS

ISSUE:

CONCEPT

NO

12